

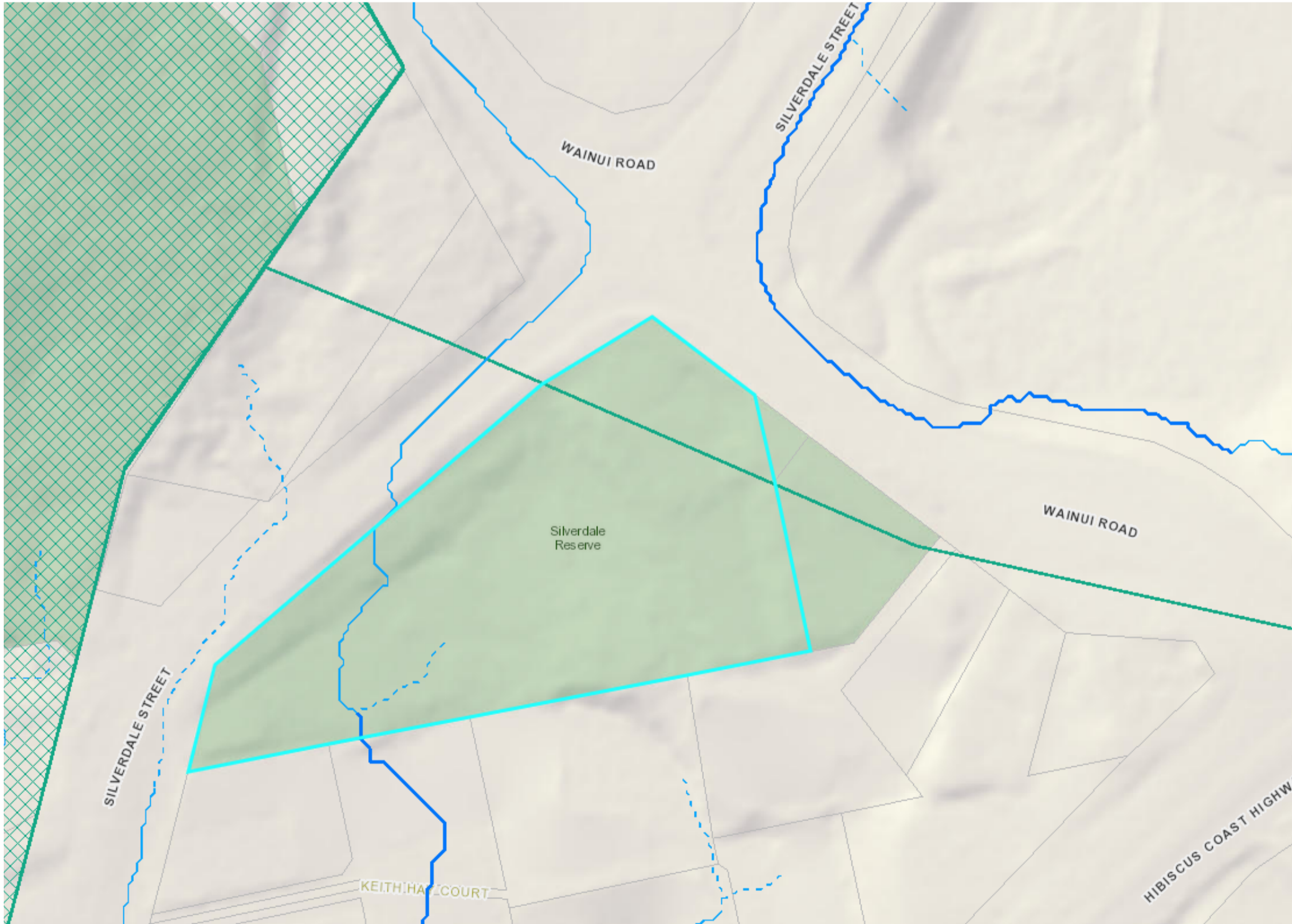


Front Perspective

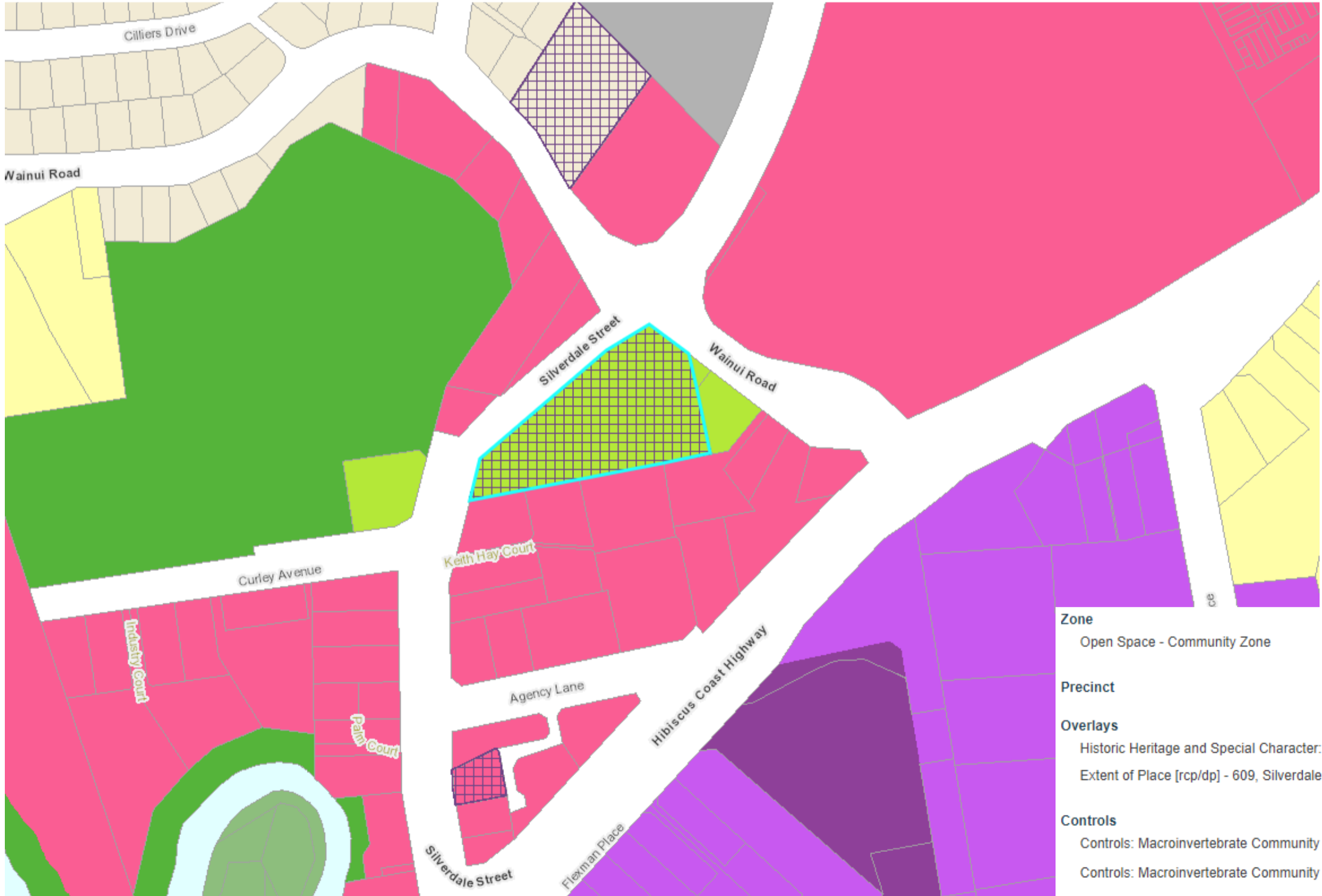
Proposed Design for
Silverdale Pioneer Village at
31-33 Silverdale Street
Lot 556 Psh Of Waiwera SO 40407
Auckland

Job Number 22562

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Auckland Council GeoMaps - Overland Flow Path



Auckland Unitary Plan Map

Issue ID	Revision	Date

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Client
Silverdale Pioneer Village
Project:
31-33 Silverdale Street
Lot 556 Psh Of Waiwera SO 40407
Auckland

Cover Sheet

Date: 30/04/2024
Scale at A1:
Scale at A3: half of A1 scale
Job No: 22562
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NOTES:
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Tenancy Rear Perspective



Market Hall Rear Perspective

[illegible]

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LICENSED BUILDING PRACTICE

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Client:
Silverdale Pioneer Villa

Project:
31-33 Silverdale Street
Lot 556 Psh Of Waiwera SO 4040
Auckland

Perspectives

Date: 30/04/2024

Scale at A1:

Scale at A3: half of A1 scale

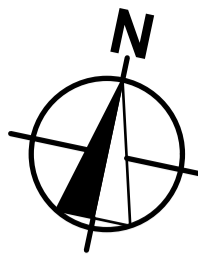
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LEGAL DESCRIPTION
LOT 556 Psh Of Waiwera
SO 40407
DP --
AREA 7608m²

District Plan Zone: **Open Space - Community Zone**
Wind Zone: **High**
Exposure Zone: **D**

GENERAL SITE NOTES

Contour Interval is 0.50m levels are in terms of Local datum

Building platform level may vary to make best use of the cut and fill

All stormwater and sewer drainage to be laid minimum 1m away from building

Location of building to be confirmed by client on site with site supervisor prior to building setout

MAXIMUM BUILDING HEIGHT

8m max.

COMPLIES/DOES NOT COMPLY

HEIGHT IN RELATION TO BOUNDARY

8.5m plus 45 degrees

COMPLIES/BREACHES

SITE COVERAGE

7608 x 50% = 3804m² max. allowed

Actual Site Coverage: 844.00m²

Proposed Tenancy: 113.96m²

Proposed Market Hall: 288.00m²

TOTAL COVERAGE: 1245.96m²

COMPLIES

IMPERMEABLE SURFACES

Actual Impermeable Surfaces

Existing Roof/Path (Approx): 1667.20m²

Proposed Roof Area: 460.81m²

Concrete Drive/ Path: 303.55m²

TOTAL AREA: 2431.56m²

31.96%

LANDSCAPED AREA

Actual Landscaped Area:

7608m² less 2431.56m² impermeable:

5176.44m²

68.04%

RESOURCE CONSENT

REQUIRED/NOT REQUIRED

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Client:

Silverdale Pioneer Village

Project:
31-33 Silverdale Street
Lot 556 Psh Of Waiwera SO 40407
Auckland

Proposed Site Plan

Date: 30/04/2024

Scale at A1: 1:200

Scale at A3: half of A1 scale

Job No: 22562

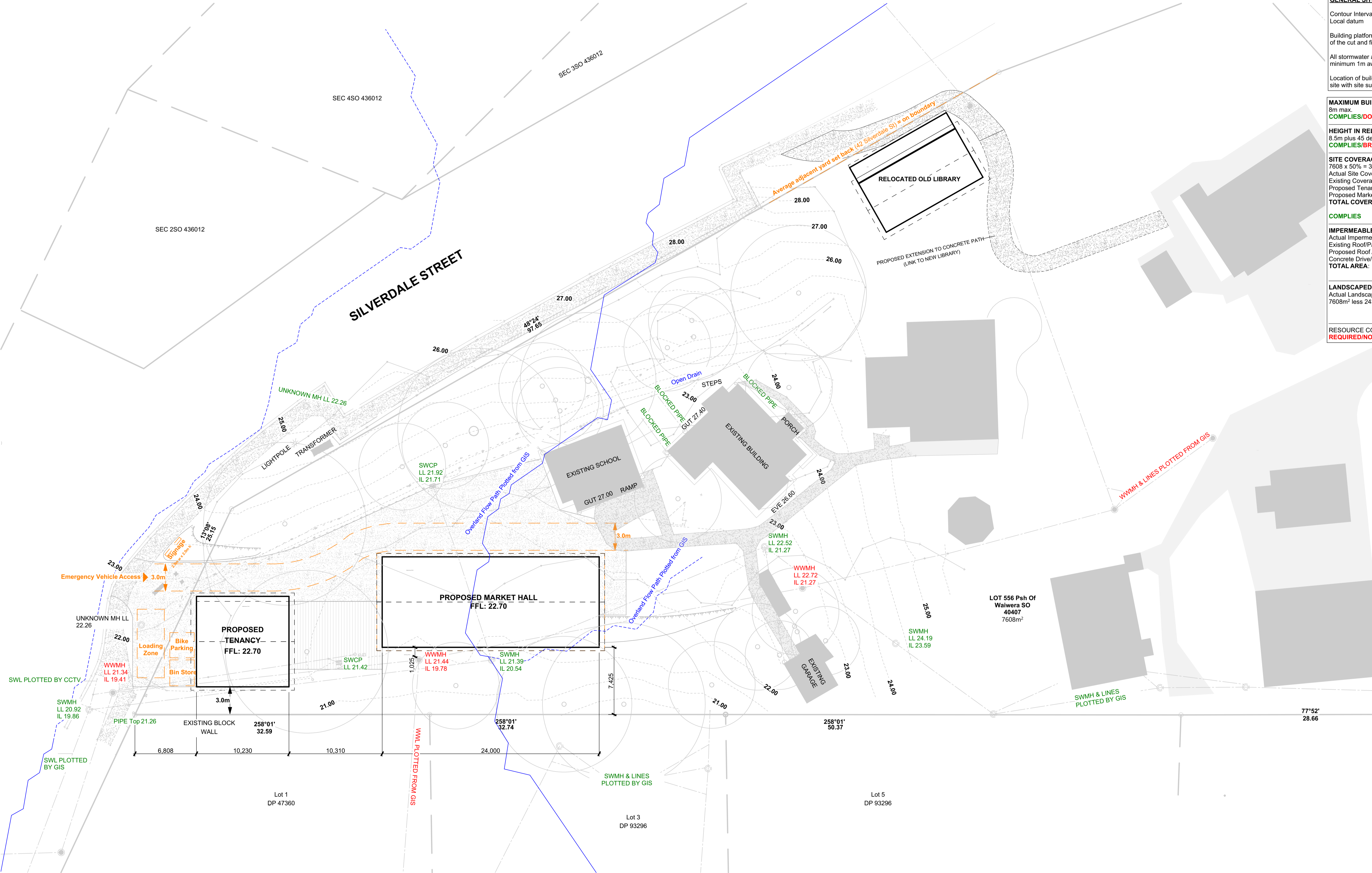
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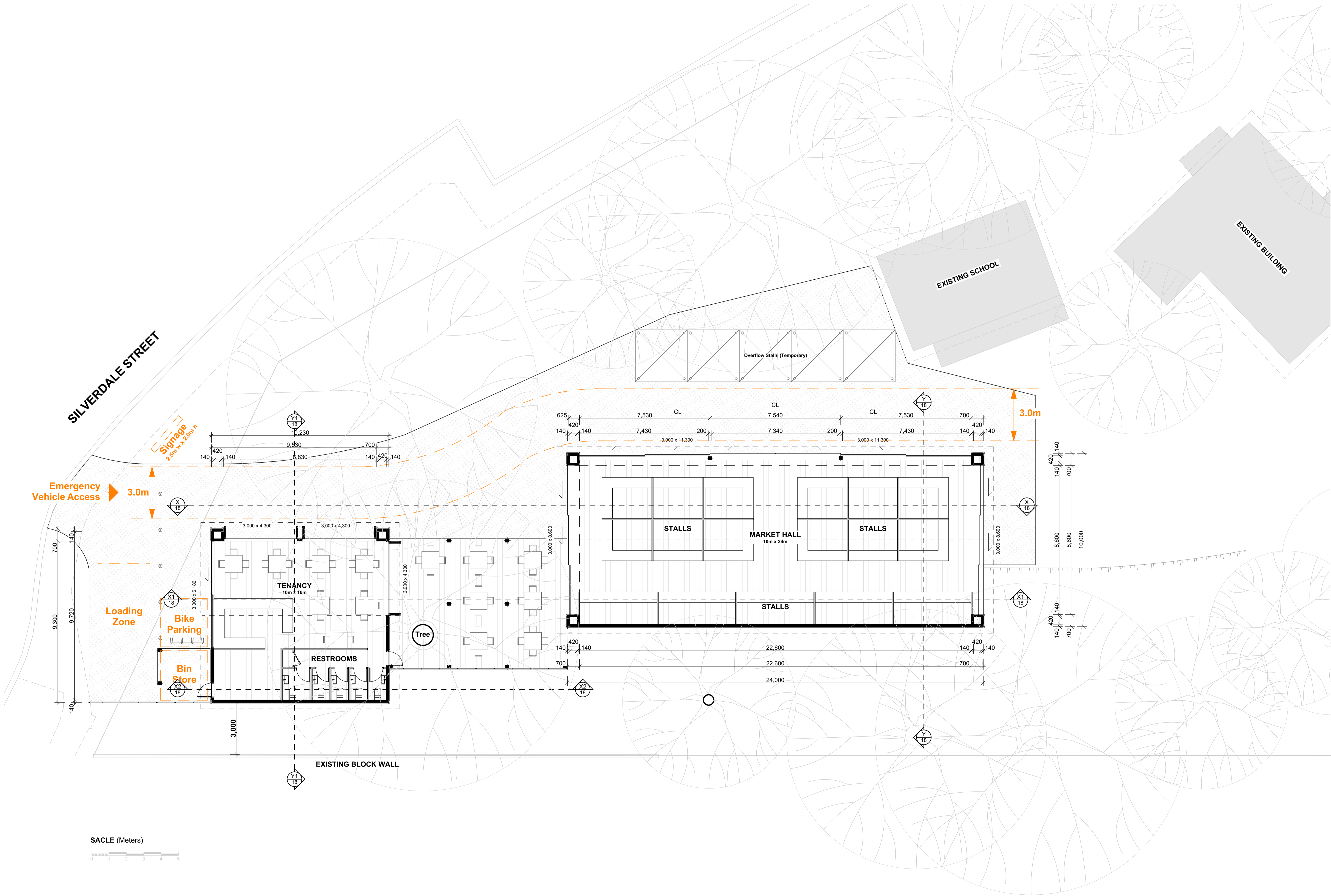
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Proposed Site Plan

1:200



Proposed Ground Floor Plan

1:100

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Client: Silverdale Pioneer Village

Project: 31-33 Silverdale Street
Lot 556 Psh Of Waiwera SO 40407
Auckland

Proposed Ground Floor Plan

Date: 30/04/2024

Scale at A1: 1:100

Scale at A3: half of A1 scale

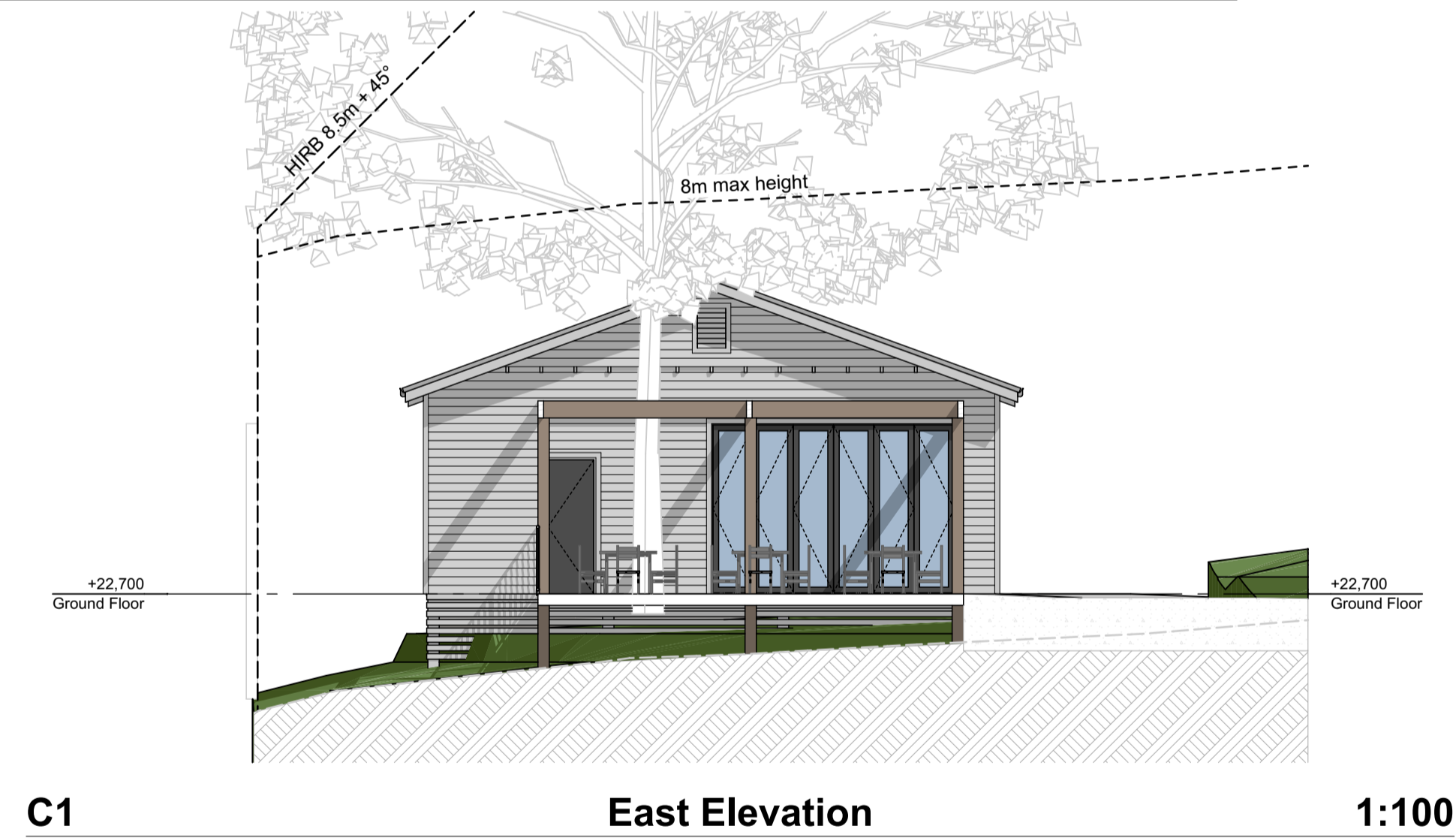
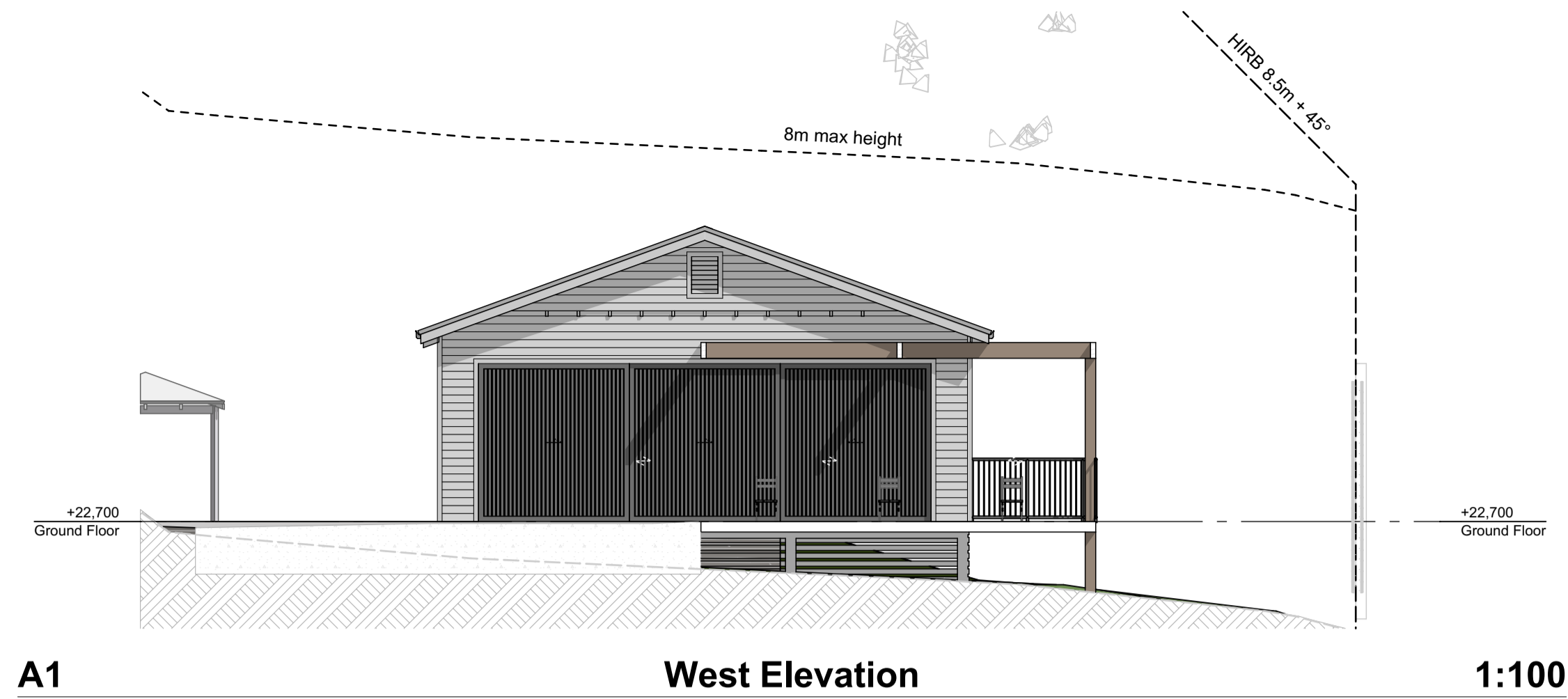
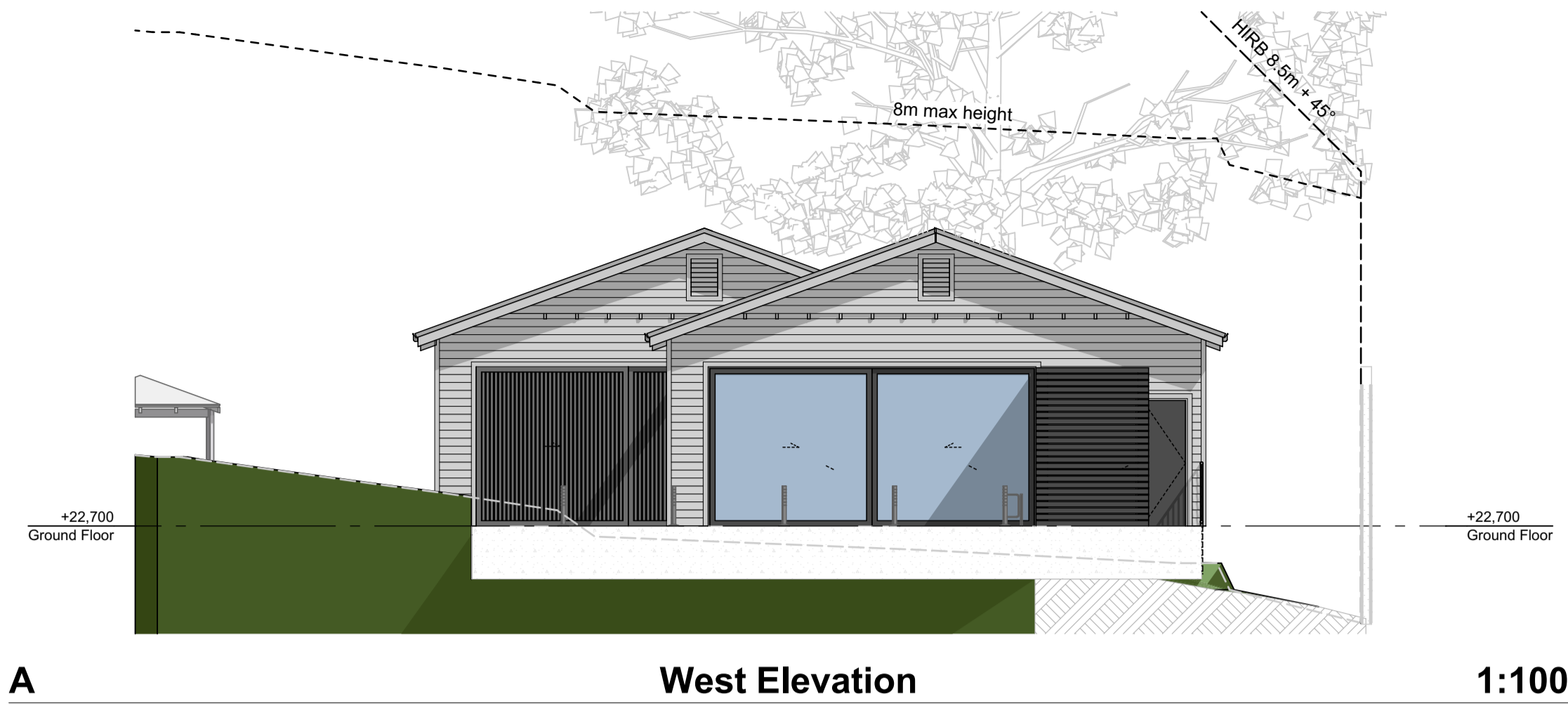
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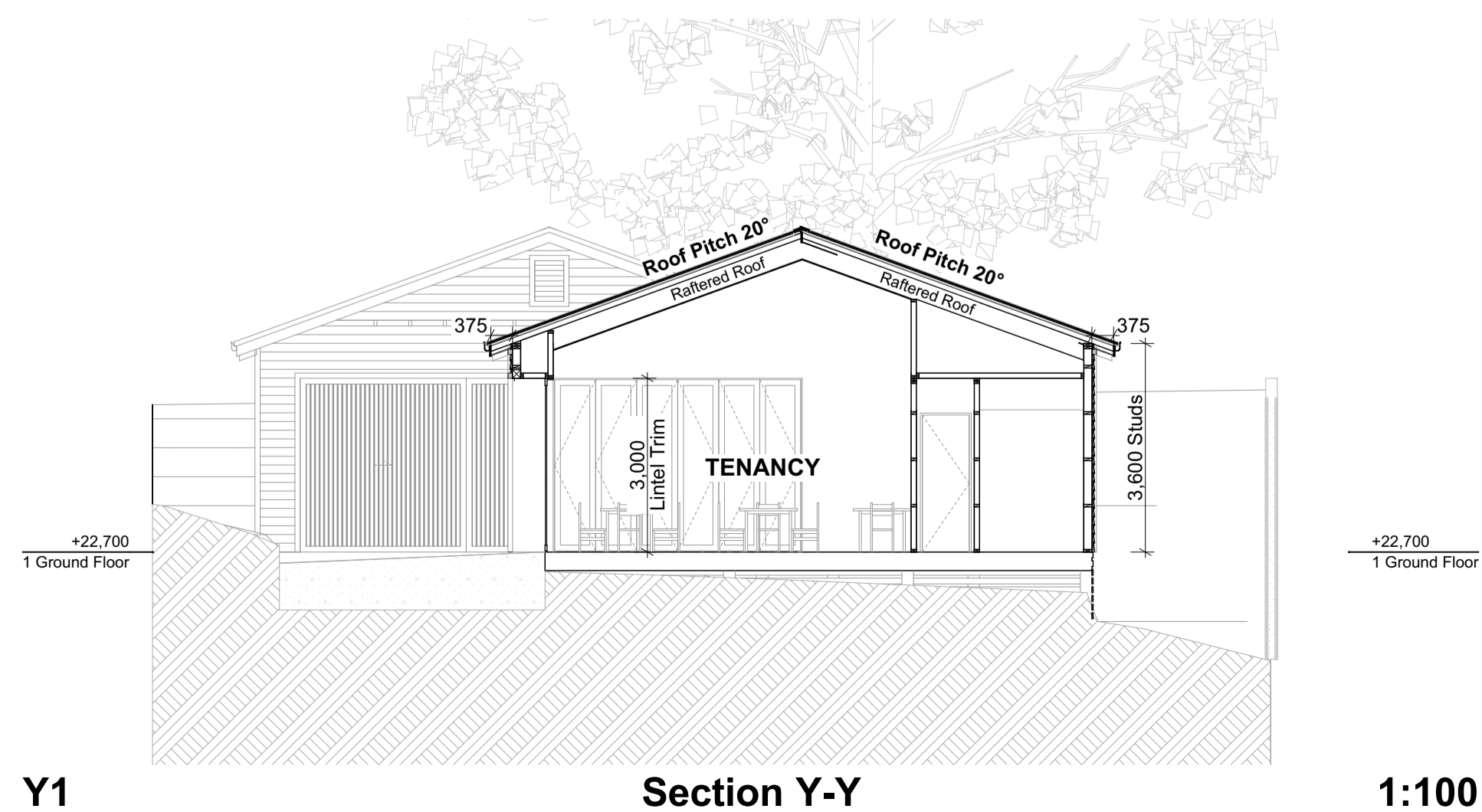
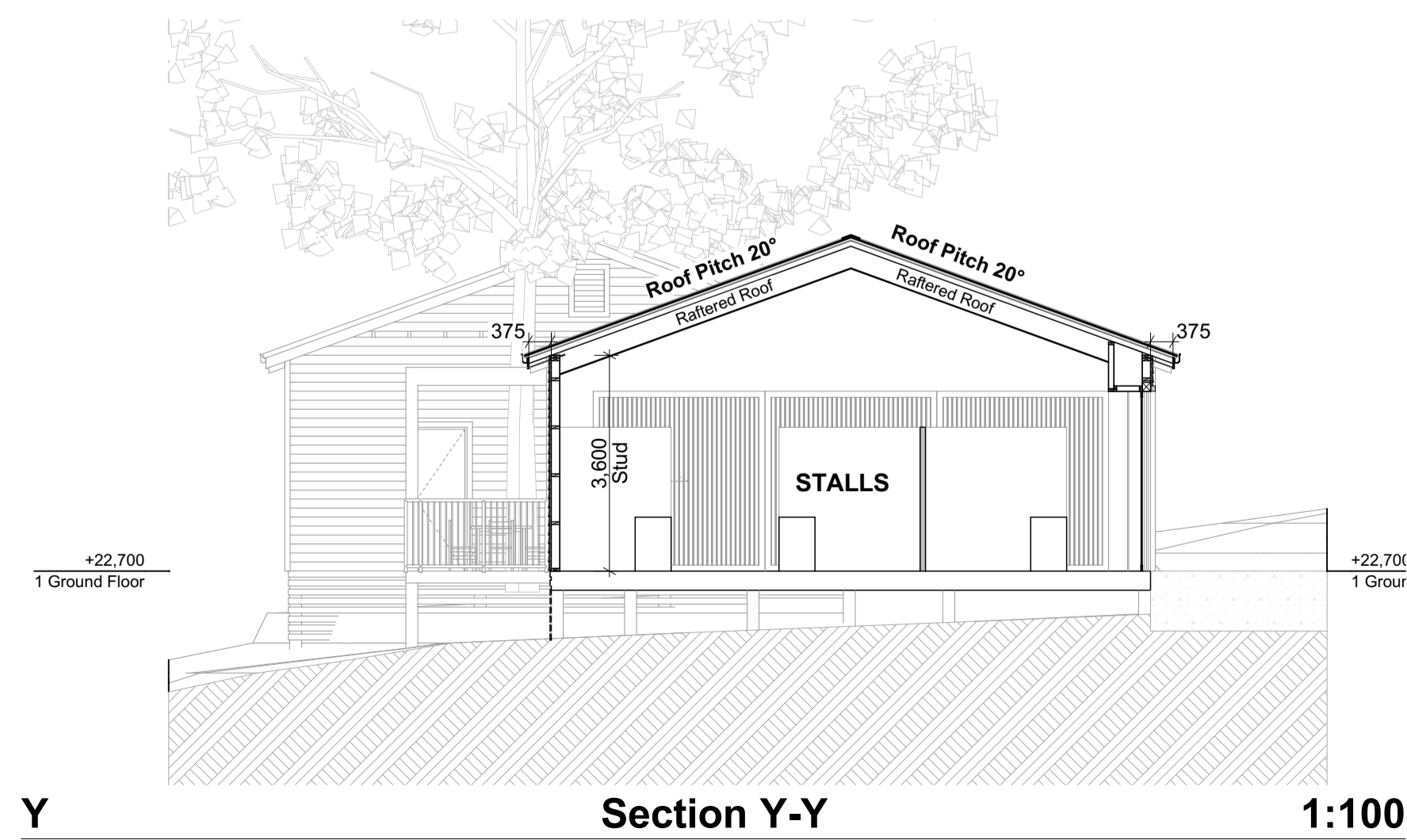
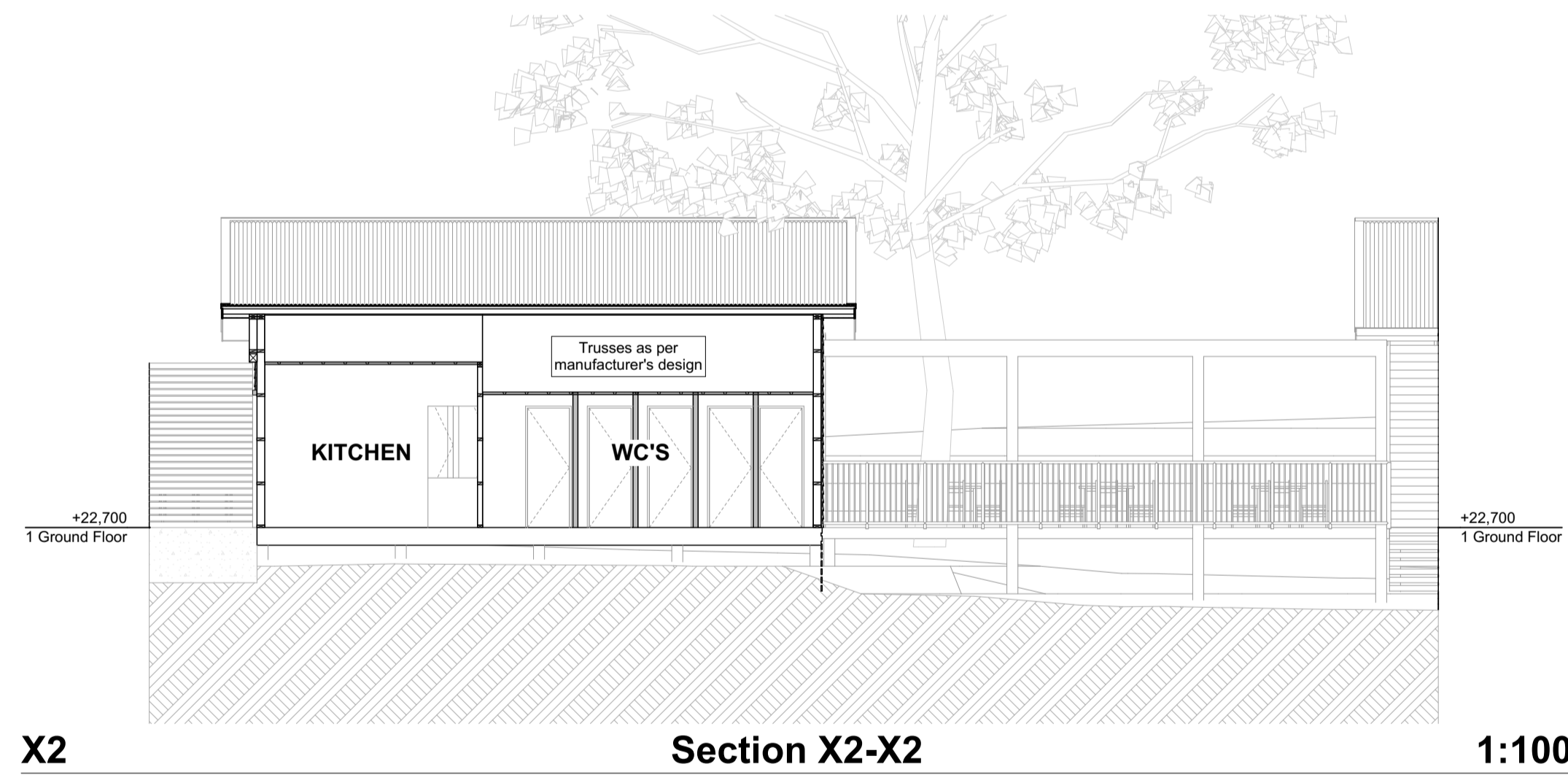
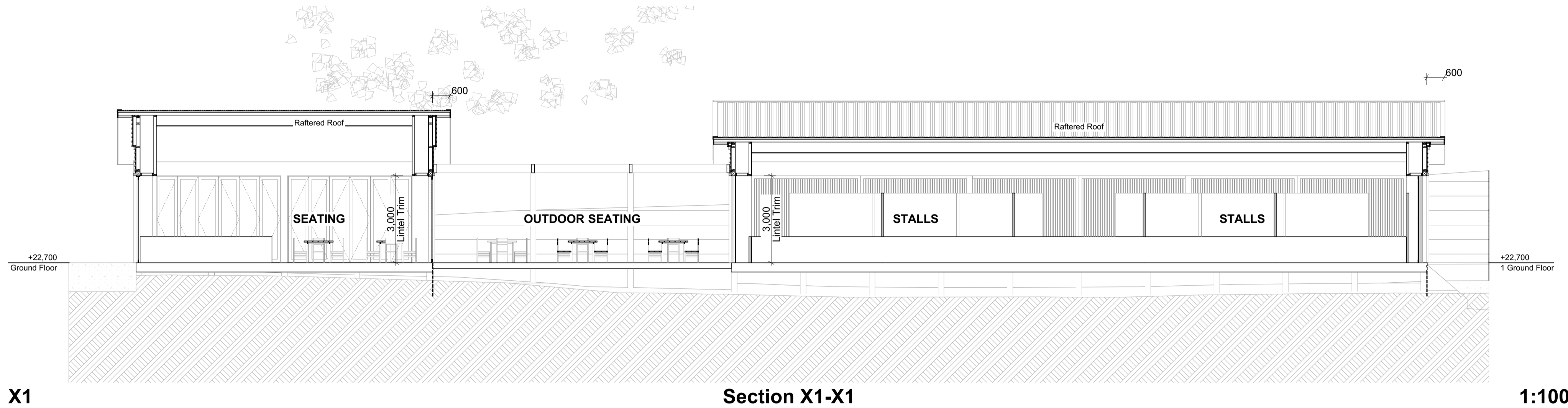
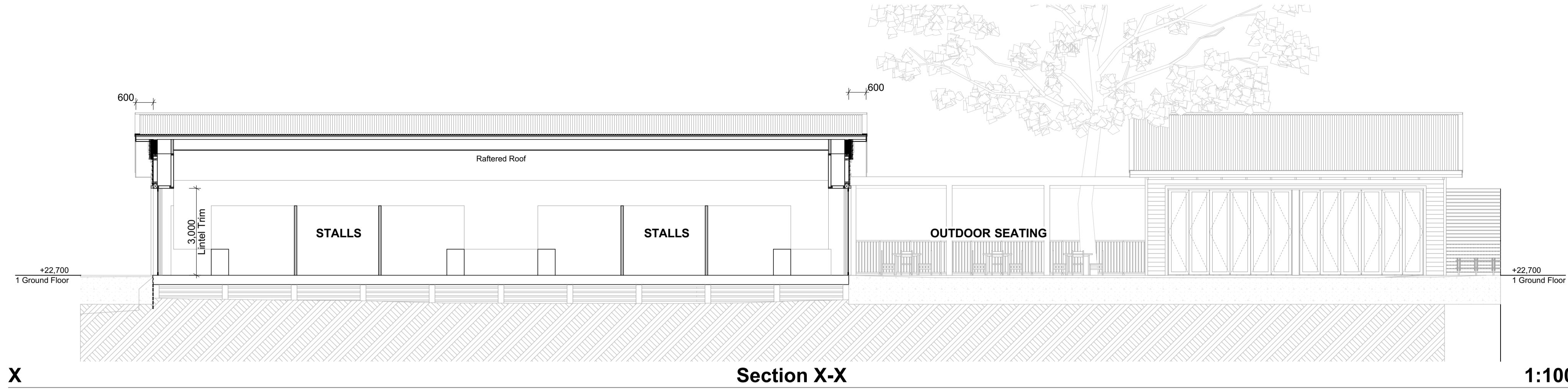


Client
Silverdale Pioneer Village
Project
31-33 Silverdale Street
Lot 556 Psh Of Waiverua SO 40407
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Elevations
Date: 30/04/2024
Scale at A1: 1:100
Scale at A3: half of A1 scale
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Sections

Date: 30/04/2024
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